

# **WILDFIRE MITIGATION PLAN**

For David and Ann Getches  
386 Forsythe Road  
Docket: SPR - 07 - 076  
Inspection date: 7/22/2008

**Colorado  
State**  
FOREST  
SERVICE  
Boulder District  
5625 Ute Highway  
Longmont, CO 80503  
(303) 823-5774  
FAX: (303) 823-5768

## **Prepared for:**

David and Ann Getches  
627 Pine Street  
Boulder, CO 80302  
Phone: 303-449-1141

## **Prepared by:**

Nicole Palestro  
Boulder District  
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## **PURPOSE OF A WILDFIRE MITIGATION PLAN**

The purpose of a Wildfire Mitigation Plan is to give guidelines for reducing wildfire hazards around a home or other structures through fuels reduction. It is a document to inform urban interface home owners of the dangers and responsibilities of living in the interface. This plan will help outline the initial and ongoing fuels reduction needed to create and maintain an effective wildfire defensible space. However, having a wildfire mitigation plan, implementation of a defensible space thinning, and following all the recommendations as outlined in this plan **does not guarantee that your home will survive a wildland fire; however, in combination they will give your home the best potential probability to survive a wildland fire.**

## **SITE LOCATION AND PROPERTY DESCRIPTION**

The property is located in Section 12, Township 1S, and Range 72W, Boulder County. The property is located within the High Country Fire Protection District (303-582-5768). A 3,579 sq. ft. residence is proposed for the site. The lot is 61 acre in size and has a modest ~0-5 percent slope with a southeast aspect. The site is at ~8150 feet in elevation and located on a valley which is relatively dry. Meadows on three sides of the building site will create a small natural barrier that may help slow the spread of a crown fires on the site.

## **CONSTRUCTION DESIGN AND MATERIALS**

The proposed structure will have a moderately complex design with a moderately complex roofline and will be oriented with a southeast aspect. **The overall design of the structure greatly influences how it will withstand a wildfire. Complex building forms create heat traps, areas where the walls and roof members intersect on another where eddies form and hot air and embers from a fire can collect. It is important to keep these areas clear of combustibles such as needles and brush.**

The roofing material will consist of 1/2 sod roof with 10" earth cover and 1/2 metal. **Falling embers and fire brands from a wildfire can land on a roof and ignite the roof, either by directly heating the roofing material, or by igniting light fuels (pine needles) that have collected on the roof. It is recommended to place screening over gutters and/or make a yearly check to keep them clear of leaves and needles.**

The exterior wall material is to be stone, metal and some wood above grade. Soffits and fascia are to be 3/8" thick hardboard. The structure will have 53 medium sized windows with the primary viewing direction being toward the southeast side of the structure. Windows will be double glazed with Low-E coating and tempered glass. Frames are to be made of aluminum clad wood. Exterior doors are to be 1 3/4", fire-rated, and made of aluminum clad wood. The structure will have 3 sliding glass doors located on the southeast side of the structure. **All operable windows must be provided with screening that is constructed of either aluminum, galvanized steel, copper or of an approved material that when exposed to flame for 15 seconds, will not burn through or melt, and remains intact. Windows are one of the weakest parts of a structure with regards to wildfire. They often crack and fail before the structure itself ignites, providing a direct path for embers and radiant heat to reach the interior. It is best to minimize the number of windows, especially on the downhill side of the structure. Fire typically burns up hill faster and will create a great deal of radiant heat.**

A deck will be constructed of composite decking material with 6" cantilever timber and steel column. The deck will be open underneath. The deck will have a buffer material of stone on top of a non-combustible polyester weed barrier. **Decks must be kept clean and free of combustible materials. Keep debris such as pine needles, wood, and vegetation away from your deck. Each year rake pine needles and other combustible material from underneath decks and overhangs.**

## **UTILITIES**

The propane tank is to be set on a pad of crushed rock overlaying a weedbarrier located ~50 ft. northeast of the residence. Utilities for the property will be buried under the driveway to residence. The septic field will be located ~ 100 ft. south of the residence. A well will be located ~50 ft. to the north of the residence.

## **DRIVEWAY ACCESS FOR EMERGENCY VEHICLES**

Access the property from Boulder by heading west on Boulder Canyon, turn left on Magnolia Road, turn left on Forsythe Road. Emergency evacuation from this property is dependent on the location of a fire at a given time. Two main evacuation routes could be east on Magnolia Road to the city of Boulder or west on Magnolia Road to the Town of Nederland.

The existing driveway will create a minimal amount of site disturbance. It will require the removal of no trees. The driveway is ~12 feet wide with a vertical clearance of 13'6" and a grade that is less than 12 percent. The driveway is approximately 1070 ft long in length therefore a "Y" turn around will be created. Since the driveway is greater than 400 ft., a pull-out will be located midway along the existing driveway.

## **EMERGENCY WATER SUPPLY FOR FIRE FIGHTING**

The emergency water source will be from a community cistern which the landowners will be making a contribution to the community cistern. The cistern should have a dry hydrant connection with a 6 inch NH thread connection and cap (note that a 2 1/2" adapter may be needed, depending on your fire protection district). Contact the High Country Fire Protection District (303-582-5768) for more information and specific details.

## **FUELS REDUCTION**

All trees to be removed are marked with blue spray paint. All trees that are to remain within zones 1 and 2 will be unmarked and need to be pruned to a height of 6 ft or 1/3 the height of the tree, whichever is less. If the property is less than 1 acre it may not have zones marked due to boundary interference. Harvested wood that remains on site will be stacked at least 30 feet from the house and at the same elevation when possible. Slash from the harvest will be chipped. Note that if you decide to burn piles, you must obtain a valid Open Burning Permit from the Boulder County Environmental Health Department (303-441-1180) and notify your local fire protection district High Country Fire Protection District (303-582-5768).

## **FOREST COMPONENT AND HEALTH**

The site has a dominant overstory consisting of Ponderosa pine (*Pinus ponderosa*) with a ponderosa pine, Douglas-fir (*Pseudotsuga menziesii*) and quaking aspen (*Populus tremuloides*) component. The understory consists of a dense cover of native grasses, forbs and shrubs. The forested area is best represented by Fuel Model 9. Fuel Model 9 is represented by closed canopy stands of ponderosa pine and mixed conifer. Understory may consist of small trees and shrubs, grasses and moderate concentrations of down, dead woody litter. High amounts of needle litter may be present. This model can exist from foothills to subalpine. There were no current signs of insect or disease problems on the property at the time of the inspection.

## **DEFENSIBLE SPACE MANAGEMENT**

There are three defensible space zones to be created around the structure(s) on the site. Please note that it is possible that one or more of these zones will cross over the subject property onto adjacent properties. Property boundaries must be respected; mitigation work is not required beyond immediate boundaries. However, landowners are encouraged to contact and work with neighbors if property lines limit the ability to mitigate within the prescribed area. **Defensible space is a benefit, not only to the individual but also to the community as a whole.**

**Zone 1** - Starts at the foundation and extends out 15 feet in all directions from the outside edge of the structure(s). Zone 1 is broken down into three segments:

**Zone 1A** - Consists of the structure(s) themselves and the area immediately adjacent to and surrounding the structure(s) on all sides. A five-foot wide, non-flammable strip must be created using stone over a polyester weed barrier material. This strip will also extend back under, and out to, two feet past the drip line of any decks.

**Zone 1B** - Extends out from Zone 1A. In this zone, all highly flammable vegetation should be removed. Any large dead woody material on the ground must also be removed. Firewise plants should be used for landscaping and re-vegetation. Grasses should be irrigated when possible and mowed to a maximum height of 6 to 8 inches twice per growing season to a distance of 30 feet from the structure.

**Zone 1C** - This zone extends out from Zone 1B to 15 feet from the house. All understory trees (ladder fuels) must be removed as marked. These are small seedling and sapling size trees that can be ladders for fire to get in the crowns of the larger trees. A few of the larger, healthy trees can to be retained for screening. All remaining trees

in this zone must be pruned to a height of 10 feet. They must be well spaced so that the crowns are not touching (10 foot minimum crown spacing). No trees should overhang the house or decks, unless approved by Boulder County or CSFS as "part of the structure" with additional fuels reduction around those trees to insure the defensible space integrity. Trees should be at least 15 feet away from the house on all sides, and a minimum of 20 feet from chimneys.

**Zone 2** - This zone extends out from Zone 1C, and acts as a transition zone between the heavily thinned areas near the house to the existing forest setting. It extends down slope between 100-170 feet depending upon slope steepness. Zone 2 also extends on either side of the structure a minimum of 100 feet and behind the house between 70-100 feet assuming no boundary restrictions. Tree spacing begins as in Zone 1C and gradually decreases as you approach the outer edge of the zone. Thinning and crown spacing becomes greater in areas of steep slopes. Ladder fuels and poor quality, suppressed and/or diseased trees, 6 to 8 inches in diameter, make up the majority of the removals. The remaining mature trees must be pruned to a height of 10 feet at the intersection of Zones 1 and 2 with limbing reduced in height to 6 feet as you approach Zone 3. If there are any questions pertaining to slope and the changes in thinning spacing and distance regulations please refer to <http://www.ext.colostate.edu/pubs/natres/pubnatr.html> and find the *Quick Facts 6.302 Creating Wildfire Defensible Space*.

**Zone 3** - This zone extends out from Zone 2 to the edge of the property. It may extend out to areas that are not part of the immediate mitigation efforts. In this zone, a few thicker clumps of trees are acceptable, as well as some unpruned trees near the outer edge. Thinning in this zone adds some protection, but is aimed more at forest health. Trees that are of poor quality or form, or have insect or disease infestations, should be removed. Slash in this zone can be lopped and scattered and/or piled for wildlife use.

- Thin suppressed trees and trees with disease and insect infestations and retain the larger, healthier trees.
- Snags can be retained for wildlife.
- Some slash in this zone can be lopped and scattered and/or piled for wildlife enhancement and shelter.
- Large amounts of slash should be disposed of by chipping, hauling to an approved site, or burning.
- For burning permits, check with your local fire protection district.

## **MAINTENANCE AND RECOMMENDATIONS**

As detailed in fact sheet 6.302, *Creating Wildfire Defensible Zones*, an important factor that determines a structure's ability to survive wildfire is defensible space. Defensible space is a maintained area around a structure where fuels (flammable materials) are modified to slow the possible spread of wildfire to the structure, as well as from the structure to the surrounding areas. Defensible space provides a place where structure protection and fire suppression operations may occur. Wildfire hazard mitigation work breaks up fuel continuity, potentially decreasing a wildfire's intensity, and for more effectiveness should be completed beyond a home's defensible space, zone 1 and 2, area into zone 3.

In addition to the above recommendations, several other measures can be taken to make your home more fire safe and add an additional measure of safety for your family. While not required through site plan review, the following measures should be undertaken to maintain the home and defensible space in the future.

- Maintain your defensible space yearly; contact your local forester for a 5-year maintenance inspection
- Establish an escape route and safety zone with the aid of your local fire protection district
- Keep firewood at least 30 feet away from buildings; clear weeds and grass from around pile
- Do not stack fresh cut wood against live trees – this could invite unwanted insects
- When possible, maintain an irrigated green space; mow grasses 6" to 8" high
- Connect, and have available, a minimum of 50 feet of garden hose with an adjustable nozzle
- Have an emergency evacuation plan in place (included in wildfire mitigation plan)
- Be aware of fire danger; your nearest fire danger sign is located at your fire station or check the Boulder Fire Weather website at [www.crh.noaa.gov/bou](http://www.crh.noaa.gov/bou)
- Keep driveways and property address marked with reflective easy to see signs
- Maintain screens on foundations, soffit vents, roof vents, and attic openings
- Get rid of unnecessary accumulations of debris and trash from yards
- Keep tools such as shovels, rakes, ladders, and axes available and ready for use
- Clean debris from the roof and gutters at least two times annually
- Check screens and maintain spark arresters on chimneys annually
- Avoid storing combustibles under decks such as wood piles, scrap lumber, and fuels

## **DEFINITIONS**

**Aspect** – Exposure. The direction a slope faces.

**Canopy** – The cover of branches and foliage formed collectively by crowns of adjacent trees.

**Crown** – Branches and foliage of a tree.

**Dominant fuel type** – Matter that would carry a fire, found on the ground.

**Duff** – a layer of accumulated dead organic matter (pine needles).

**Eddies** – Small wind occurrences that are separate from normal wind flows.

**Fuel Model** – A number system that identifies the types of fuels found on the property that will directly influence fire behavior.

**Fire danger** - An assessment of both fixed and variable factors of the fire environment, which determine the ease of ignition, rate of spread, difficulty of control, and the fire impact.

**Fire hazard** - The potential fire behavior for a fuel type, regardless of the fuel type's weather-influenced fuel moisture content or its resistance to fireguard construction. Assessment is based on physical fuel characteristics, such as fuel arrangement, fuel load, condition of herbaceous vegetation, and presence of elevated fuels.

**Fire management** - The activities concerned with the protection of people, property and forest areas from wildfire and the use of prescribed burning for the attainment of forest management and other land use objectives, all conducted in a manner that considers environmental, social and economic criteria.

**Fire risk** - The probability or chance of fire starting determined by the presence and activities of causative agents.

**Fuel continuity** – The proximity of fuels to each other. Helps determine if a fire can sustain itself.

**Forest health** - A forest condition that is naturally resilient to damage; characterized by biodiversity, it contains sustained habitat for timber, fish, wildlife, and humans, and meets present and future resource management objectives.

**Ladder fuels** - Fuels that provide vertical continuity between the surface fuels and crown fuels in a forest stand, thus contributing to the ease of torching and crowning.

**Limb** (verb) –To remove the branches from a tree.

**Noxious weeds** - Any weed so designated by the Weed Control Regulations and identified on a regional district noxious weed control list.

**Overstory** – The tree species that forms the uppermost forest layer (dominant and co-dominant).

**Slash** – The residue left on the ground as a result of forest and other vegetation being altered by forest practices or other land use activities.

**Snag** – Standing dead tree, often used by wildlife such as woodpeckers, owls, and other various mammals.

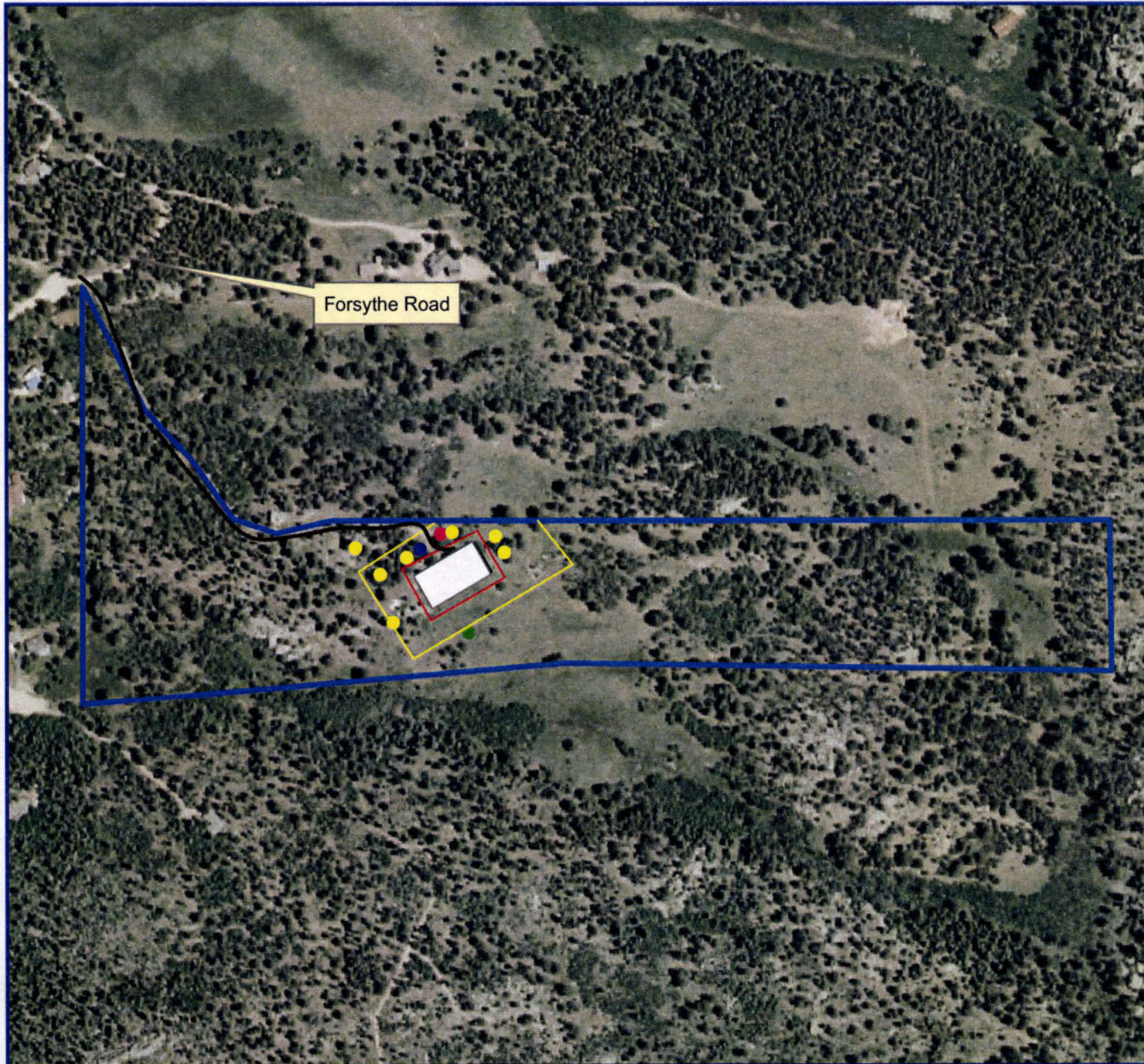
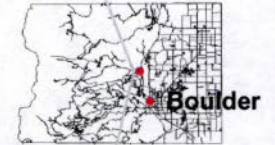
**Understory** – Plants that grow underneath the overstory species.

**Wildland urban interface** – a popular term used to describe an area where various structures (most notably private homes) and human developments meet or are intermingled with forest and other vegetative fuel types.

# Boulder County Wildfire Mitigation Plan

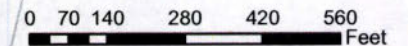


Property of David and Ann Getches  
386 Forsythe Road  
SPR-07-076



## Legend

- Driveway
- Zone 1
- Zone 2
- Zone 3
- Propane
- Leave Trees
- Well
- Leach Field
- Property Boundary

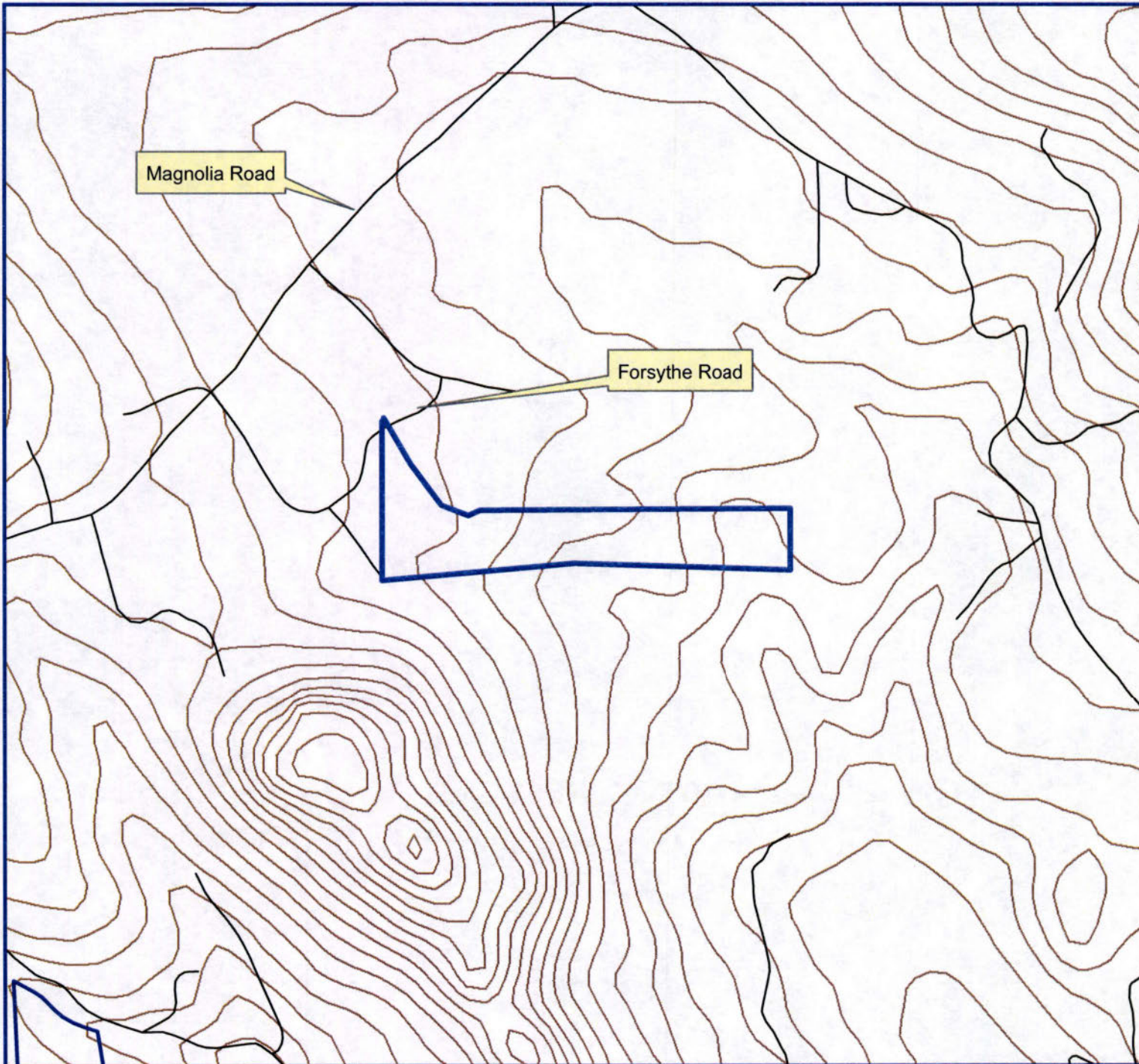
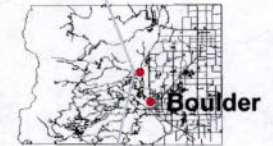


This map was produced from geospatial information from Boulder County and CSFS. All information represented is not completely accurate, and should be considered a draft document. This map should in no way serve as legal documentation of ownership.










# Boulder County Wildfire Mitigation Plan



Landscape Map  
386 Forsythe Road  
SPR-07-076



## Legend

-  Driveway
-  Zone 1
-  Zone 2
-  Zone 3
-  Propane
-  Leave Trees
-  Well
-  Leach Field
-  Property Boundary



0 180 360 720 1,080 1,440 Feet

This map was produced from geospatial information from Boulder County and CSFS. All information represented is not completely accurate, and should be consider a draft document. This map should in no way serve as legal documentation of ownership.

## Colorado State Forest Service Wildfire Mitigation Plan Data Form

Please be specific. Fill out the data form as completely and as accurately as possible, **do not** leave any blanks. Leaving blanks can delay the process of your wildfire mitigation plan. You may email it to Matthew Jedra at [mjedra@lamar.colostate.edu](mailto:mjedra@lamar.colostate.edu) or fax it to 303-823-5768, or bring it to the scheduled appointment.

The cost of the Wildfire Mitigation Plan is \$300.00. An invoice will be included when you receive the plan. Payment is due within 30 days from the date of the invoice. Any **Bolded** categories will be filled in by the Colorado State Forest Service (CSFS) representative at the time of initial site visit. If you have any questions about this form please contact Matthew Jedra at 303-823-5774.

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**Inspection Date:**

7-22-08

Landowner name: Las Abuelas Ranch LLC c/o David  
Getches \_\_\_\_\_

Mailing address: 627 Pine Street \_\_\_\_\_

City, State, Zip: Boulder, CO 80302 \_\_\_\_\_

Site address: 386 Forsythe Road \_\_\_\_\_

Phone number: 303-449-1141 Sam Nishek  
Architect \_\_\_\_\_

Road access: (Directions from main access road)

Drive up Magnolia Drive, Turn Northeast on Forsythe Rd, continue to the dirt turnaround at the end of the road. The gate will be locked. The combination is R18-L28-R06 I will meet you at the gate to show you the house location. \_\_\_\_\_

Docket number: SPR-07-076 \_\_\_\_\_ (SPR, SPRW, LU, Etc.)

Section: 12 (sw)11(nese) \_\_\_\_\_

Township: 15 \_\_\_\_\_

Range: 72W \_\_\_\_\_

Legal Description:

parcel#  
158112000019 \_\_\_\_\_

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Elevation: 8150' (feet)

Lot size: 61 (Acres)

Driveway length: 1070 (Actual length in feet from road to home)

Driveway trees removed: existing (few/many/none)

House design: moderately complex (moderately complex – any shape with a few alcoves or complex – any shaped with a number of alcoves complex design)

Home buffer material: stone (Material that is spread 5 ft. wide around the house - stone/crushed gravel/decorative stone)

Roof Design: moderately complex (moderately complex/complex)

Roof material: 1/2 sod roof 10" earth cover, 1/2 metal (Class A- Asphalt shingles/concrete tiles/metal (wood roof is not permitted ion Boulder County))

Soffit type and thickness: 2x6 t&g (3/4" Plywood or 3/8" hardboard/cement board)

Siding material: stone, metal, some wood above grade  
(Cement/hardboard/log/stucco/stone/wood - **wood siding is not permitted on high hazard sites**)

Windows (#): 53 (number of windows in the structure)

Window Size: medium (On average: small - <3x4', medium - 4x5', large <5x6')

Window Frames: aluminum clad wood (Wood or aluminum clad wood/  
**vinyl is not permitted on high hazard sites**)

Window Aspect: south east (Dominant viewing direction)

Window Construction: Low E, tempered where required (Low E-Coating/Tempered glass/etc...)

Window Wells: none (Number and location if present, these are windows that site below ground level, usually in a basement)

Sliding Glass Doors: living room 2, guest suite 1 (Location and Number)

Door Material: aluminum clad wood (Wood/steel/fiberglass/composite)

Deck material: choice deck at guest room, \_\_\_\_\_ (type of composite materials, **wood is not permitted**)

Deck Description: open underneath  
\_\_\_\_\_ (Enclosed deck/open deck/enclosed underneath/open underneath)

Deck support type: Cantilever timber and steel column \_\_\_\_\_ (Timber posts/logs/steel/concrete/decorative stone)

Deck buffer material: stone \_\_\_\_\_ (Crushed rock/gravel/decorative stone)

Deck weed barrier: polyester \_\_\_\_\_ (Fiberglass/polyester)

Number of Structures: 1 \_\_\_\_\_ (All structures to be present, including sheds, garages and out buildings)

Existing Structures: 0 \_\_\_\_\_ (House/barn/garage/etc.)

New Structure: House with attached garage \_\_\_\_\_  
(House/Barn/garage/new addition/etc...)

Structure Square feet: 3,579 sf \_\_\_\_\_ (Total sq.ft. of structure – **this must be accurate and match the sq.ft that you submitted for SPR, if it has changed, please specify**)

Structure aspect: SE \_\_\_\_\_ (Dominant facing direction/view, N, S, E, W)

Utility Location: buried under drive to house \_\_\_\_\_ (Pole/buried: Direction and distance from residence – N, S, E, W/20ft, 30ft, 40ft, etc...)

Detached Garage (if applicable): attached \_\_\_\_\_ (Total square feet)

Out buildings: none \_\_\_\_\_ (Total square feet of any and all sheds, cabins, ect...)

Leach field: south 100 feet \_\_\_\_\_ (Direction and distance from residence – N, S, E, W/20ft, 30ft, 40ft, etc...)

Cistern size (if applicable): payment to community cistern \_\_\_\_\_ (gallons - <2,000 sq.ft – 1,800 gal., >2,000 to 2,500 sq.ft – 2,400 gal., >2,400 gal. to 3,599 – 3,600 gal., and >3,600 full interior NFPA 13 D Sprinkler system per Boulder County)

Cistern Location: N/A \_\_\_\_\_ (Direction and distance from residence – N, S, E, W/20ft, 30ft, 40ft, etc...)

Cistern Type: community \_\_\_\_\_ (Domestic Cistern or Fire Cistern)

Making a donation to community cistern : yes (Yes or No)

Have you talked to the local fire department : yes (Yes or No)

Are you required to have a sprinkler system : no (Yes or No) (If your house/addition is greater than 3,600 sq.ft. you are required to have an a full interior NFPA 13 D Sprinkler system per Boulder County)

Water supply: well (Well or main line)

Well (if applicable): north 50' (Direction and distance from residence – N, S, E, W/20ft, 30ft, 40ft, etc...)

Propane or natural gas: propane 500 gal buried

Propane Tank location: NE 10 feet (Direction and distance from residence – N, S, E, W/20ft, 30ft, 40ft, etc...)

Slash disposal: Chipped (Chipped/hailed/burned/lop-scatter)

Can you provide a map of utility locations for the property : Yes (e.g. location of propane, tank, leach field, well, cistern, etc... Yes or No)

Comments: Eric Phillips stated that this was a moderate hazard site.

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**This part will be filled out by the CSFS inspecting forester**

FPD: \_\_\_\_\_

Dominant fuel type: Grasses, Forbs, shrubs (Grass/forbs/shrubs/slash/etc)

Dominant overstory: Ponderosa

Co-dominant overstory: Douglas-Fir

Fuel model type: \_\_\_\_\_

Aspect: South east (Direction of slope)

Slope: 0-5% (Percent)

Building site: Valley (Chimney/saddle/valley/ridge/mid-slope)

Site moisture: Dry

Natural fire barrier: Meadow on three sides

Insect & Disease Diagnosis: NONE

Comments: Trees for shading and aesthetics



**Boulder County Land Use Department**

Courthouse Annex Building  
 2045 13th Street • PO Box 471  
 Boulder, Colorado 80302  
 Phone: 303-441-3930 • Fax: 303-441-4856  
 Email: planner@co.boulder.co.us •  
 http://www.co.boulder.co.us/lu/  
 Office Hours: Monday – Friday 8:00 AM to 4:30 PM

489324, CK#17424, \$1075.00 RS

Shaded Areas for Staff Only	
Intake Stamp	P A I D
JUL 12 2007	
BOULDER COUNTY LAND USE	

**Application Form**

Project Number		Project Name	
* No Application Deadline	* Application Deadline: First Wednesday of the Month	* Application Deadline: Second Wednesday of the Month	
<input type="checkbox"/> Limited Impact Special Use <input checked="" type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> 1041 State Interest Review <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Other:	<input type="checkbox"/> Variance <input type="checkbox"/> Appeal	<input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Location and Extent <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Final Plat	<input type="checkbox"/> Road Name Change <input type="checkbox"/> Special Use/SSDP <input type="checkbox"/> Extension of Approval <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Rezoning
Location(s)/Street Address(es) <i>Forsythe rd., mountains</i>			
Parcel #: <i>158112000019</i>			
Subdivision Name			
Lot(s)	Block(s)	Section(s) <i>12(SW) 11(NESE)</i>	Township(s) <i>1S</i> Range(s) <i>72W</i>
Area in Acres <i>61.97</i>	Existing Zoning	Existing Use of Property <i>family retreat</i>	Number of Proposed Lots <i>1</i>
Proposed Water Supply <i>well</i>	Proposed Sewage Disposal Method <i>Septic</i>		

**Applicants:**

Applicant/Property Owner <i>LAS AUBREAS LLC by ANN M. GETCHES, Manager</i>		Email Address <i>anngetches@hotmail.com</i>	
Street Address <i>627 Pine Boulder</i>			
City <i>Boulder</i>	State <i>CO</i>	Zip Code <i>80302</i>	Phone <i>303-449-4867</i> Fax <i>303-449-6964</i>
Applicant/Property Owner		Email Address	
City	State	Zip Code	Phone Fax
Agent/Consultant <i>BARRETT Studio Architects</i>		Email Address <i>nathan@barrettstudio.com</i>	
Street Address <i>1944 20th st.</i>			
City <i>Boulder</i>	State <i>CO</i>	Zip Code <i>80302</i>	Phone <i>3449 1141</i> Fax <i>3449 9320</i>
Agent/Consultant		Email Address	
City	State	Zip Code	Phone Fax

**Certification:** (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed attach additional sheet signed and dated.

Signature of Property Owner <i>Ann M. Getches, Manager</i>	Date <i>7-12-07</i>
Signature of Property Owner	Date
Other Signature	Date

\* Only if the Land Use Director waives the landowner signature requirement for good cause shown under the applicable provisions of the Land Use Code.

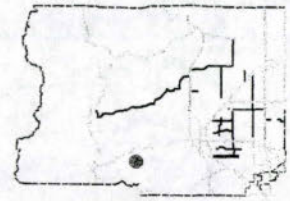
# Boulder County Land Use Department PreApp - Vicinity Map



This map is for informational purposes only and, in itself, does not indicate whether property will conflict with any Comprehensive Plan or Environmental Resources. Review processes may also reveal environmental resources not found on County maps.

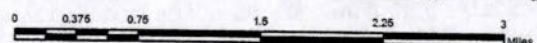
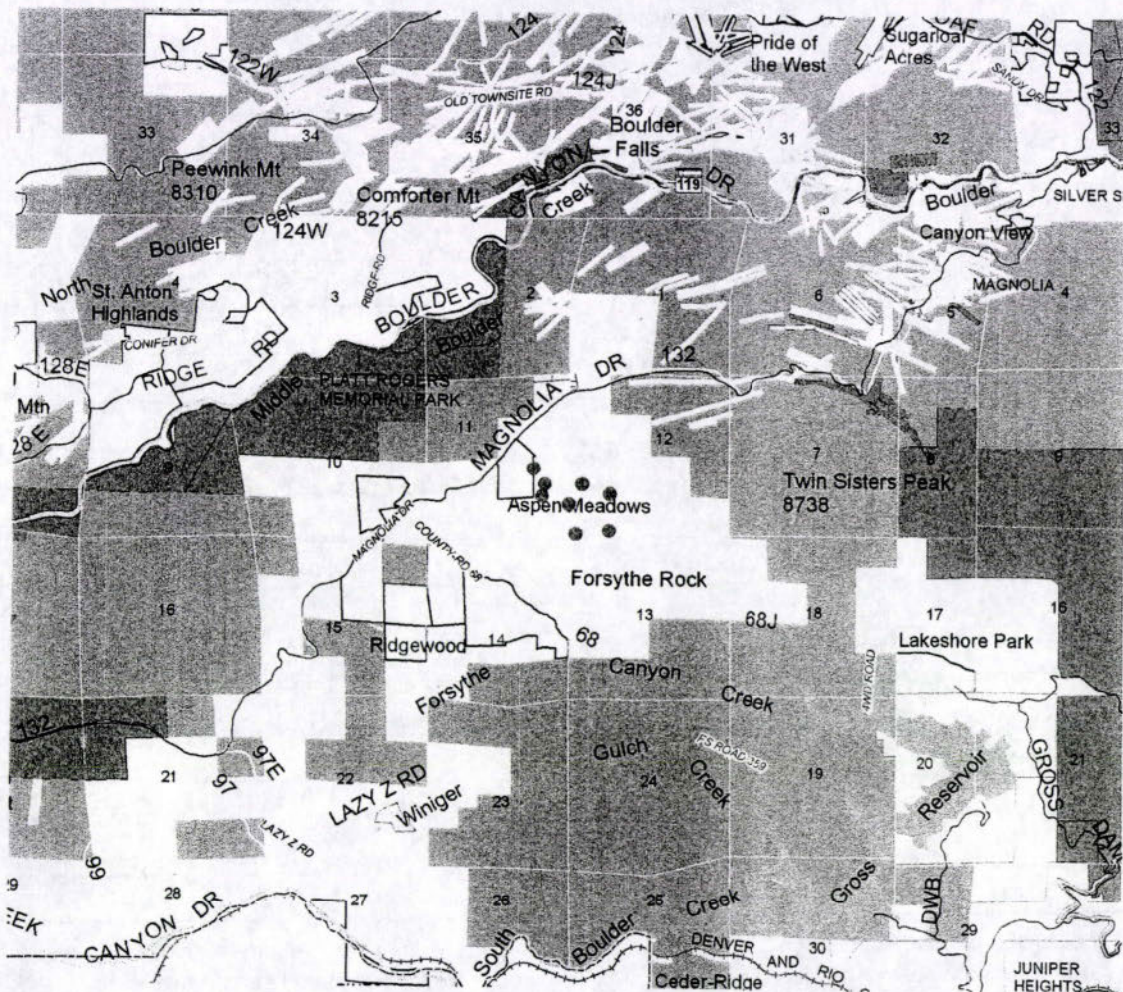
## Legend

- Open Space
  - Federal
  - State
  - Local
- Conservation Easements
- Gravel resources
- Utilities and other
- Subdivision
  - Lots
  - Nupud
- Floodplain
  - FO Zoning District
- Map Location



This map is for illustrative purposes only, and is not suitable for parcel-specific decision making. The areas depicted here are approximate. More site-specific studies may be required to draw accurate conclusions.

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# Boulder County

Use Department  
PreApp - Location Map

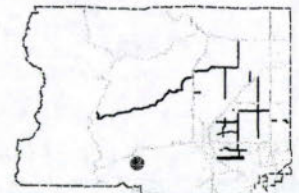


This map is for informational purposes only and, in itself, does not indicate whether property will conflict with any Comprehensive Plan or Environmental Resources. Review processes may also reveal environmental resources not found on County maps.

### Legend

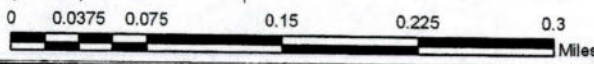
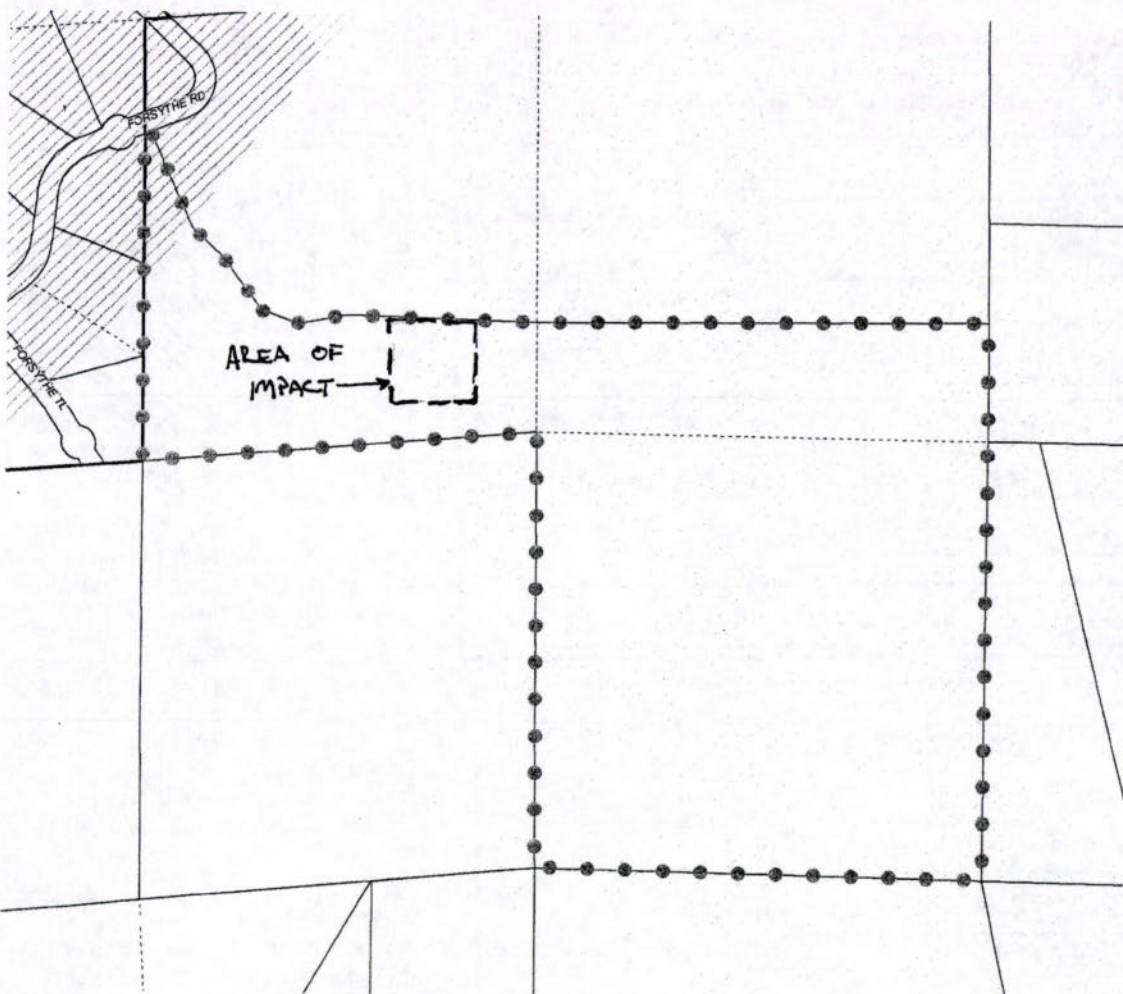
- Archeologically Sensitive Travel Routes
- Municipalities
- Archeologically Sensitive Areas
- Open Corridors, Roadside
- Open Corridors, Streamside
- Overland Habitat Connectors
- Stream Habitat Connectors
- Significant Riparian Corridors
- Critical Wildlife Habitats
- Rare Plant Areas
- Floodplain - FD Zoning District
- Environmental Conservation Areas
- Natural Landmarks and Areas
- Significant Natural Communities
- Significant Agricultural Lands**
  - National Importance
  - Statewide Importance
  - Local Importance

### Map Location



The map is for illustrative purposes only and is not suitable for parcel-specific decision making. The areas depicted here are approximate. More site-specific studies may be required to draw accurate conclusions.

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# Site Plan Review Fact Sheet

Each section of this Fact Sheet is required to be completed, even if the information is duplicated elsewhere in the application. Completed Fact Sheets cut application review time, and assist staff in expediting determinations. Please make duplicates of this page if the project involves more than two structures.

## Structure Information

**STRUCTURE #1:**

**TYPE OF STRUCTURE:** Residence  
(e.g. residence, studio, barn, etc.)

**TOTAL EXISTING FLOOR AREA:** 0 sq/ft **DEMOLISH:** \_\_\_\_\_ sq/ft  
(Finished + Unfinished sq.ft. - always include garage if attached)

Is new floor area proposed in areas where demolition is will occur?  
Yes \_\_\_\_\_ No X

If Yes, please be sure this area is included in the table below.

	PROPOSED FLOOR AREA (new construction only)			Height above existing grade
	Finished	Unfinished	Total	
Basement	sq/ft	sq/ft	sq/ft	<u>29'6"</u>
1st Floor	<u>1543</u> sq/ft	sq/ft	<u>1543</u> sq/ft	
2nd Floor	<u>987</u> sq/ft	<u>118</u> sq/ft	<u>1105</u> sq/ft	
Garage <input type="checkbox"/> Detached <input type="checkbox"/> Attached	sq/ft	<u>544</u> sq/ft	<u>544</u> sq/ft	
Covered Deck		<u>198</u> sq/ft	<u>198</u> sq/ft	
<b>Total</b>	<u>2530</u> sq/ft	<u>861</u> sq/ft	<u>3391</u> sq/ft	

**Exterior wall:**  
- Material steel, stone wood  
- Color red brown/brige

**Roofing:**  
- Material steel  
- Color red brown

When completed, this structure will have a total of 2 bedrooms.

**STRUCTURE #2:**

**TYPE OF STRUCTURE:** Studio/cabin  
(e.g. residence, studio, barn, etc.)

**TOTAL EXISTING FLOOR AREA:** 0 sq/ft **DEMOLISH:** \_\_\_\_\_ sq/ft  
(Finished + Unfinished sq.ft. - always include garage if attached)

	PROPOSED FLOOR AREA (new construction only)			Height above existing grade
	Finished	Unfinished	Total	
Basement	sq/ft	sq/ft	sq/ft	<u>2'</u>
1st Floor	<u>367</u> sq/ft	sq/ft	<u>367</u> sq/ft	
2nd Floor	sq/ft	sq/ft	sq/ft	
Garage <input type="checkbox"/> Detached <input type="checkbox"/> Attached	sq/ft	sq/ft	sq/ft	
Covered Deck		<u>133</u> sq/ft	<u>133</u> sq/ft	
<b>Total</b>	<u>367</u> sq/ft	<u>133</u> sq/ft	<u>500</u> sq/ft	

**Exterior wall:**  
- Material Log  
- Color Gray Brown

**Roofing:**  
- Material steel  
- Color red brown

When completed, this structure will have a total of 0 bedrooms.

## Project Identification

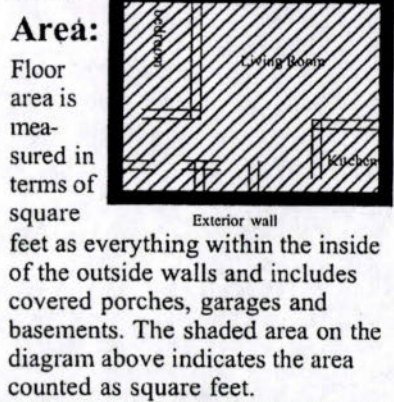
**Project Name:**  
Getches Retreat

**Property Address/Location:**  
Forsythe rd.

**Current Owner:**  
LAS ABUELAS RANCH

**Size of Property in Acres:**  
61.97

## Determining Floor Area:



**Please note:** If existing walls and/or roof are removed and new walls/roof are constructed, the associated floor area due to the new walls and/or roof is considered new construction and must be included in the calculation of floor area for Site Plan Review & shown on the Fact Sheet.

**If a Limited Impact Special Use Review is required,** then call 303-441-3930 and ask for a new Preapplication conference for the Limited Impact Review.

**This document prepared by:**  
Boulder County Land Use Dept.  
Courthouse Annex, 13th & Spruce St.  
PO Box 471; Boulder, CO 80306  
**Phone:** 303-441-3930  
**Fax:** 303-441-4856  
**Web Site:**  
<http://www.co.boulder.co.us/lu/>  
or <http://www.bouldercounty.us/lu/>  
**E-mail:** [planner@co.boulder.co.us](mailto:planner@co.boulder.co.us)  
**Office Hours:**  
Monday through Friday  
8:00 AM to 4:30 PM

**Earth Work / Grading**

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the *Boulder County Land Use Code*. Please fill in all applicable boxes.

*Note that applicants must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review.*

Also, note that all areas of earthwork must be represented on the site plan.

	Cut	Fill	Total
Driveway & Parking Areas		176.4	176.4
Berms	66	2.6	68.6
Other Grading:		51	51
<b>Total</b>			<b>296</b> <i>Box 1</i>

If the total in *Box 1* is more than 500 cubic yards, then a Limited Impact Special Review is required.

	Cut	Fill	Total
Foundation	164		164

Material cut from foundation excavation to be removed from the property. Excess material will be transported to the following location: \_\_\_\_\_

0

**Narrative**

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application. If more room is needed, feel free to attach a separate sheet.

**Grading Calculation Note**

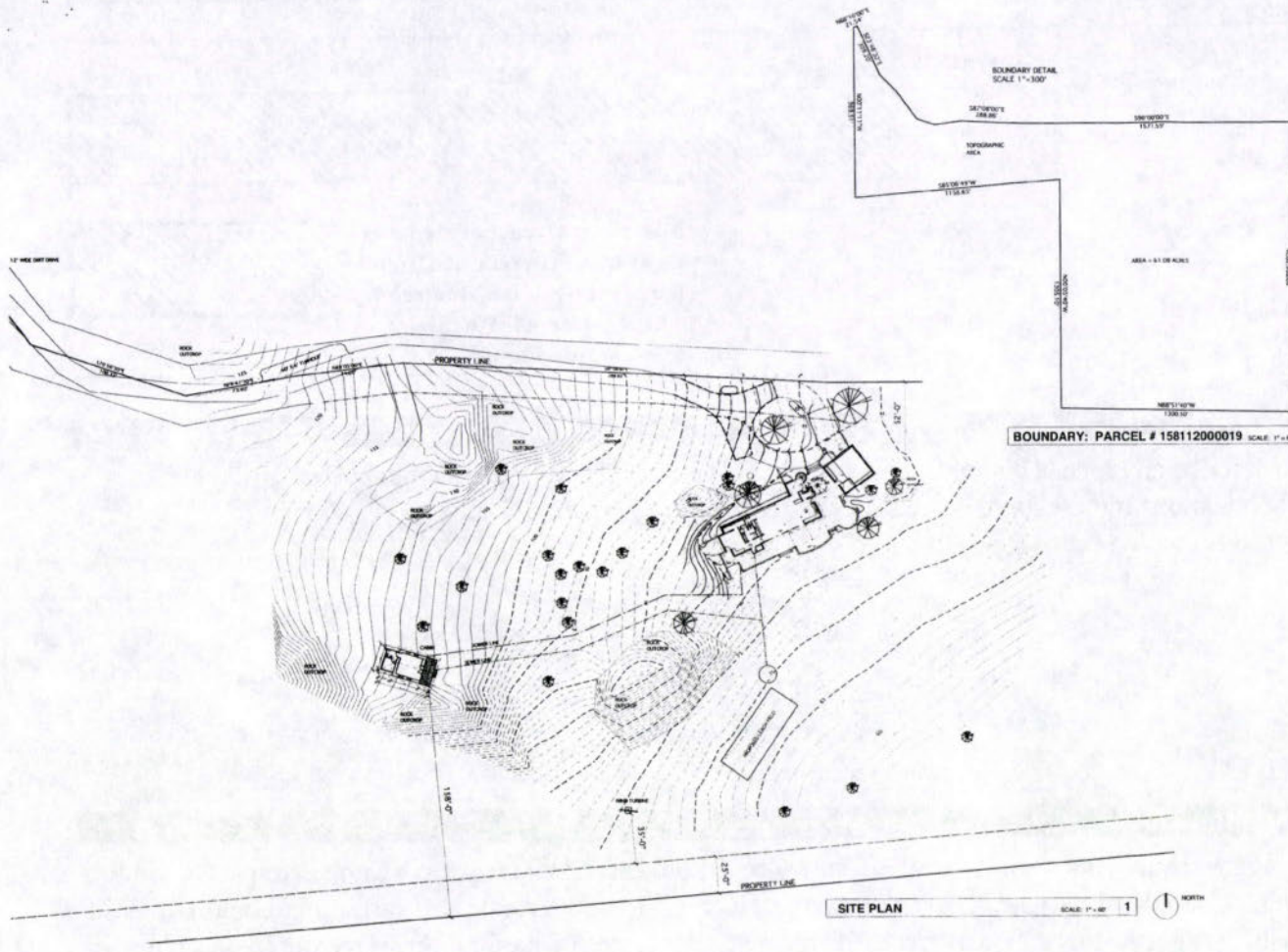
Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify that a Limited Impact Review (LU) is not required. A LU is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint). If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

**Certification**

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature *Nathaniel* Date July 12, 2007

**Is your property gated and locked?** If county personnel cannot access the property, then it could cause delays in reviewing your application.



**METAL SHEDS OF CONSTRUCTION**  
 METAL SHEDS OF CONSTRUCTION  
 10000 S. 100th Street, Suite 100  
 Omaha, NE 68137  
 Phone: (402) 426-1111  
 Fax: (402) 426-1112  
 Website: www.metalsheds.com

**SITE PLAN REVIEW**  
 Date: 07/12/2007  
 Reviewer:  
 1.  
 2.  
 3.  
 4.

**GETCHES RETREAT**

**BARETT STUDIO ARCHITECTS**  
 10000 S. 100th Street, Suite 100  
 Omaha, NE 68137  
 Phone: (402) 426-1111  
 Fax: (402) 426-1112  
 Website: www.barettstudio.com

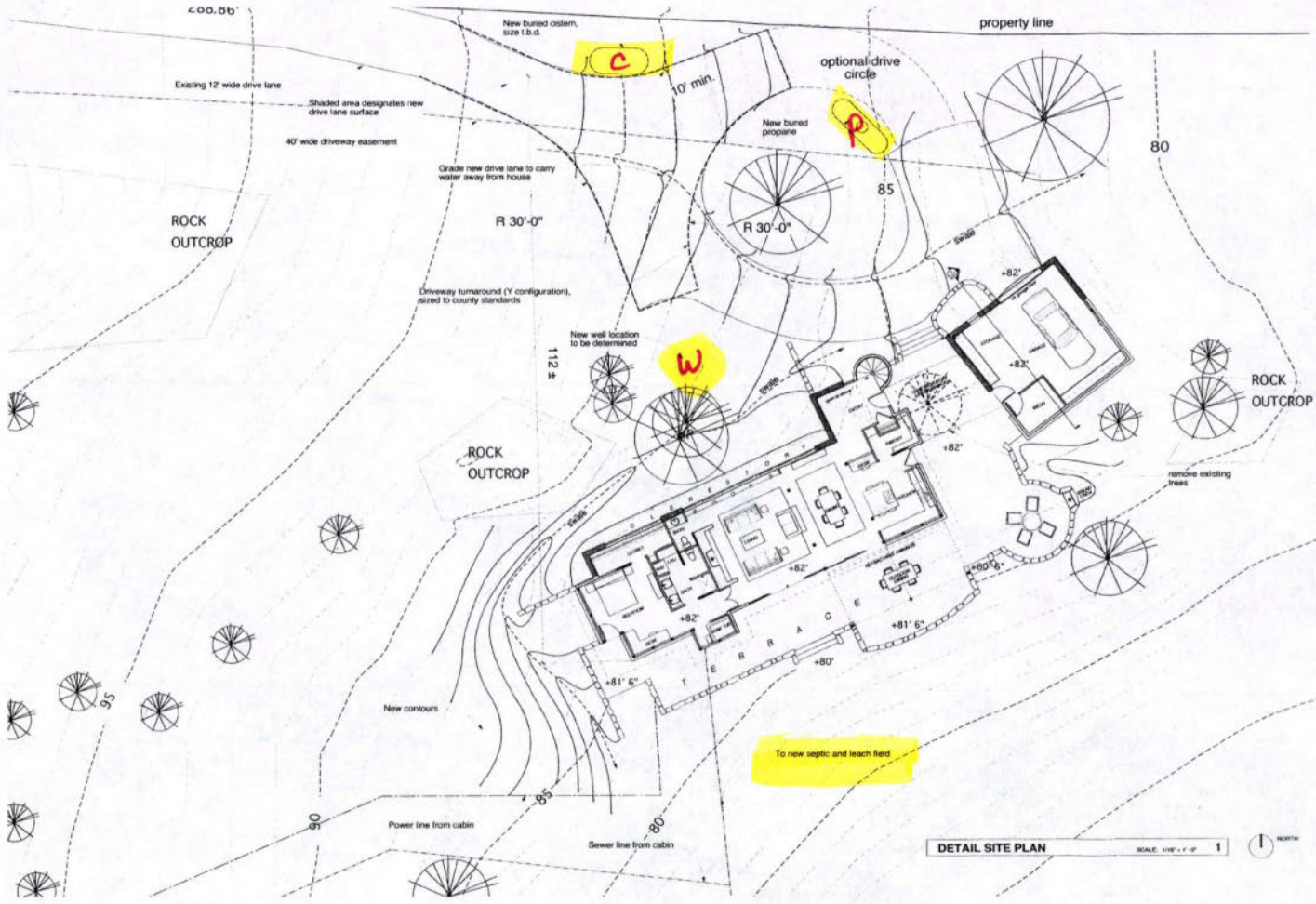
**PERMIT NOT FOR CONSTRUCTION**

**SITE PLAN**

Sheet Number:  
**A0.0**

File: 02.01.02m

970-491-8660  
 - Kathy Porter -



**SITE PLAN REVIEW**  
 Date: 07/13/2007  
 Revision:  
 1.  
 2.  
 3.  
 4.

**GETCHES RETREAT**  
 BARRETT STUDIO architects  
 1000 West Street, Boulder, Colorado 80501  
 Phone: 303.440.4100 Fax: 303.440.4101  
 www.barrettstudio.com

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

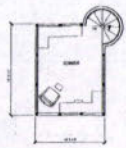
**DETAIL SITE PLAN**  
 Sheet Number:  
**A1.0**  
 File: 02-11-2-Detail Site

**DETAIL SITE PLAN** SCALE: 1/8" = 1' - 0" NORTH

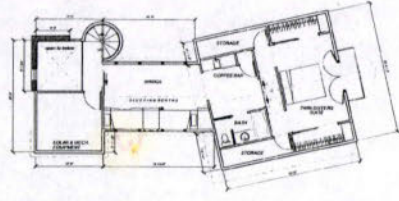
Well  
 Propane  
 Septic/leach field  
 Cistern

**SQUARE FOOTAGE CALCULATIONS**

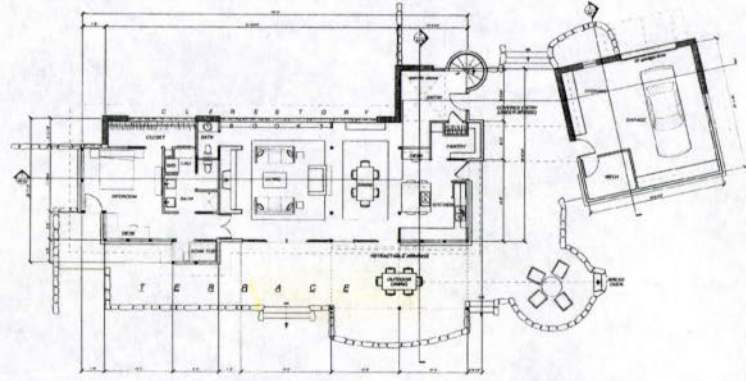
PLAN AREAS :	INSIDE WALL:	OUTSIDE WALL:
FIRST FLOOR	1543 SQ. FT.	- 1670 SQ. FT.
SECOND FLOOR	809 SQ. FT.	- 988 SQ. FT.
TOWER	178 SQ. FT.	- 203 SQ. FT.
COVERED UNDER BRIDGE	198 SQ. FT.	-
TOTAL (FINISHED)	2728 SQ. FT.	- 2861 SQ. FT.
GARAGE (UNFINISHED)	544 SQ. FT.	- 614 SQ. FT.
MECH. (UNFINISHED)	118 SQ. FT.	- 136 SQ. FT.
TOTAL (UNFINISHED)	662 SQ. FT.	- 751 SQ. FT.
TOTAL	3390 SQ. FT.	- 3611 SQ. FT.



**TOWER PLAN** SCALE: 1/8" = 1' - 0" **3** NORTH



**SECOND FLOOR PLAN** SCALE: 1/8" = 1' - 0" **2** NORTH



**FIRST FLOOR PLAN** SCALE: 1/8" = 1' - 0" **1** NORTH

**GENERAL NOTES:**  
 1. SEE GENERAL DIMENSIONS AND TO THE CENTERLINE OF WALLS.  
**WALL LEGEND:**  
 1" STUCCO  
 4" CONCRETE  
 2x6 WOOD STUD  
 2x4 WOOD STUD  
 STONE LANDSCAPE WALLS  
**SITE PLAN REVIEW**  
 Date: 03/12/2007  
 Reason(s):  
 A  
 B  
 C  
 D

**GETCHES RETREAT**



**BARRETT STUDIO ARCHITECTS**  
 1000 S. 10th Street, Boulder, Colorado 80502 Phone: 303.440.1313 Fax: 303.440.8222 www.barrettstudio.com

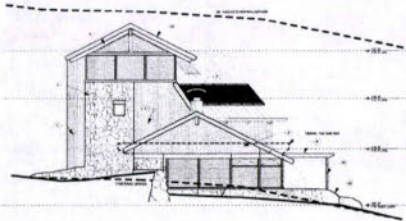
**PRELIMINARY NOT FOR CONSTRUCTION**

**PLANS**

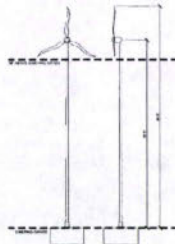
Sheet Number

**A1.1**

No. 02 A1.1 Plans



WEST ELEVATION SCALE: 1/8" = 1'-0" 6



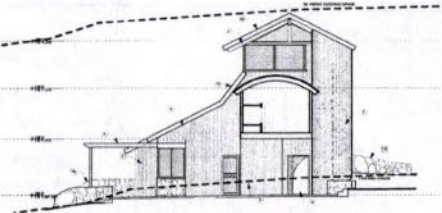
WIND TURBINE SCALE: 1/8" = 1'-0" 5

**EXTERIOR MATERIALS LEGEND**

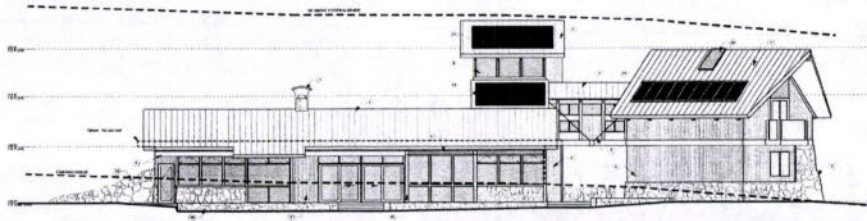
- 1 Standing seam metal roof - weathered steel
- 2 Corrugated weathered steel siding
- 3 Stone veneer
- 4 Timber Frame beam
- 5 Cable railing
- 6 Terrace shade structure
- 7 Porcelain square tileset 18" wood looking stone tile
- 8 Windows - Powder Aluminum cladding over wood with slat in interior, low E glass
- 9 Custom entry door
- 10 Stone side walls
- 11 Garage door - 18' tall
- 12 Slatlight
- 13 Solar electric panels
- 14 Solar thermal panels
- 15 Timber post

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

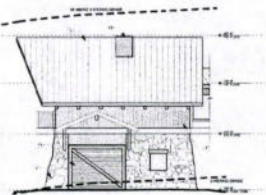
**SITE PLAN REVIEW**  
 Date: 07/12/2007  
 Revision:  
 1  
 2  
 3



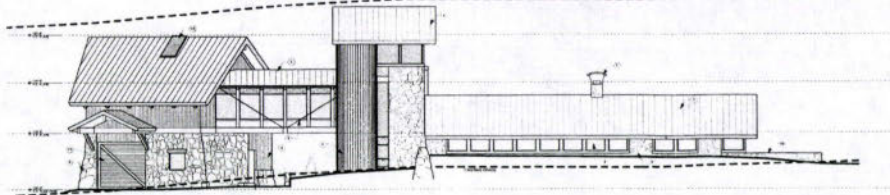
EAST ELEVATION SCALE: 1/8" = 1'-0" 4



SOUTH ELEVATION SCALE: 1/8" = 1'-0" 3



GARAGE NORTH SCALE: 1/8" = 1'-0" 2



NORTH ELEVATION SCALE: 1/8" = 1'-0" 1

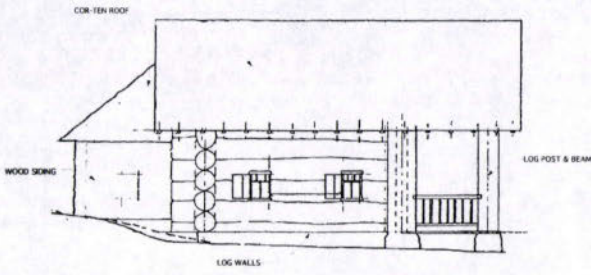
**GETCHES RETREAT**

**BARRETT STUDIO ARCHITECTS**  
 1000 N. 10th Street, Raleigh, NC 27605 | Phone: 919.433.1400 | Fax: 919.433.2338 | www.barrettstudio.com

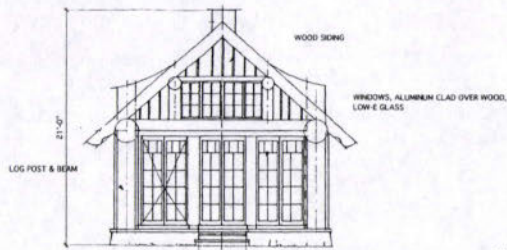


**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**ELEVATIONS**  
 Sheet Number  
**A3.0**  
 THE 3-ELEVATIONS



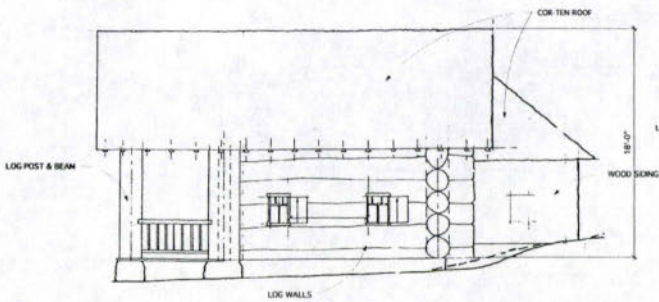
**WEST ELEVATION** SCALE: 1/8" = 1'-0" 5



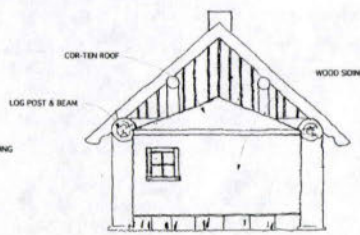
**SOUTH ELEVATION** SCALE: 1/8" = 1'-0" 4

**SQUARE FOOTAGE CALCULATIONS**

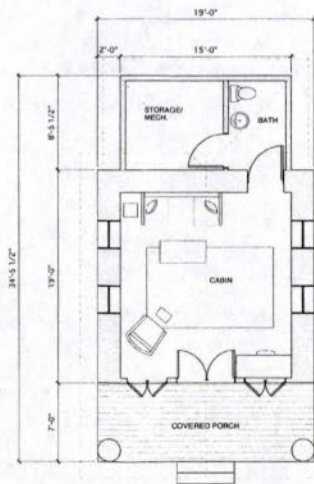
PLAN AREAS :	INSIDE WALL:
FLOOR	387 SQ. FT.
COVERED PORCH	133 SQ. FT.
TOTAL (FINISHED)	500 SQ. FT.



**EAST ELEVATION** SCALE: 1/8" = 1'-0" 3



**NORTH ELEVATION** SCALE: 1/8" = 1'-0" 2



**CABIN PLAN** SCALE: 1/8" = 1'-0" 1

SCHEMATIC DESIGN  
 Date: 01/15/2007  
 Revisions:  
 1  
 2  
 3

**GETCHES RETREAT**

**BARRETT STUDIO ARCHITECTS**  
 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202  
 TEL: 303.733.8888 FAX: 303.733.8889 WWW.BARRETTSTUDIO.COM



PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

CABIN  
 Sheet Number  
**A4.0**  
 FILE: 02-CABIN

