

June 30, 2004

Eric Philips
Boulder County Land Use Department
P.O. Box 471
Boulder, CO 80306

Boulder District
5625 Ute Highway
Longmont, Colorado 80503-9130
(303) 823-5774

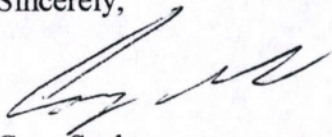
Hey Eric,

Enclosed is a copy of SPR # 04-016, for the Warren Franz & Claire Sandford property. The property address is 1136 Steamboat Valley Road, Lyons CO. My initial inspection was on 5/29/2004.

Warren Franz & Claire Sandford plans on building 2 structure(s) including a . The contact number is 303-684-9377. Warren Franz & Claire Sandford has been informed to contact me for the final inspection once the work has been completed.

If you have any questions, please contact me at 303-823-5774.

Sincerely,



Cory Secher
Forester


To: Warren Franz and Claire Sandford
842 Grant Street
Longmont, CO. 80501

Invoice No. 64738

Colorado
State
FOREST
SERVICE

Date: 6-30-04

Item	Unit Cost	Total
1 Written Wildfire Mitigation Plan SPR #04-016		\$250.00
2 Marked Defensible Space per SPR Regulations		
3		
4		
5		
6		
7		
8		
9		
Tax Exempt No. _____		Sales Tax


CSFS Originator
Payment Due By 7-30-04

Remit to:

COLORADO STATE FOREST SERVICE
BOULDER DISTRICT
5625 UTE HIGHWAY
LONGMONT, CO 80503-9130

Total		\$250.00
CK-CA-MO Amount Paid:		
Amount Due		\$250.00
CK#	Dated	
Rcv'd By	F.Y.	
Funding		Amount
194030	0615	\$250.00

Deposit No.

Date

White-Customer copy; Yellow-State Office copy; Pink-Project copy



Knowledge to Go Places

June 30, 2004

Warren Franz & Claire Sandford
842 Grant Street
Longmont, CO 80501

Boulder District
5625 Ute Highway
Longmont, Colorado 80503-9130
(303) 823-5774

Dear Warren Franz & Claire Sandford,

Upon your request the Colorado State Forest Service has completed your Wildfire Mitigation Plan per Jefferson County Land Use regulations for your property located at 1136 Steamboat Valley Road, Lyons CO. We have submitted a second copy of this plan for you to submit to the County Land Use Department.

The next step in this process is to remove all trees marked with blue spray paint. Trees that do not have blue marking on them should be pruned 6-10 feet from base of tree. Once trees have been removed and pruned please call for an appointment of inspection. Either Jefferson County Land Use or the Colorado State Forest Service must inspect all Site Plan Review properties before final plan approval is granted.

We have enclosed an invoice for our services and would like payment within one month of the date it was written.

We thank you for your compliance and look forward to assisting you in the future. If you have any questions regarding the Site Plan Review process please contact your local Land Use Department or if you have question regarding the Wildfire Mitigation plan or forest health please call Cory Secher at 303-823-5774.

Sincerely,

A handwritten signature in black ink, appearing to read "Cory Secher".

Cory Secher
Forester

DIRECTIONS FOR FILLING OUT FORM:

Please fill out as complete as possible and fax to Cory Secher at 303-823-5768 or mail to 5625 Ute Highway, Longmont CO 80503-9130.

Any **Bolded** categories will be filled in by the CSFS representative at the time of initial site visit and tree marking for the defensible space. If you have any questions about this form please contact Cory Secher at 303-823-5774 or by email at csecher@lamar.colostate.edu.

Wildfire Mitigation Plan
FIELD DATA FORM

Inspection Date: _____

Landowner name: Warren Franz + Claire Sandford

Mailing address: 842 Grant St

City, State, Zip: Longmont CO 80501

Site address: 1136 Steamboat Valley Rd Lyons, CO

Phone number: 303-684-9377

Road access: N. 5th St in Lyons to Steamboat Valley Rd, North from Vasquez 1.1
(Directions from main access road) mi

Docket Number: 04-016 (SPR, LU, Etc.)

Section: 6

Township: T3N

Range: R70W

Legal Description: S 1/2 of SW 1/4 of SE 1/4 of SW 1/4 of
Section 6 T3N R70W

FPD: Lyons ARD.

Dominant fuel type: _____

(Grass/forbs/shrubs/slash/etc)

Dominant overstory: Ponderosa P.

Co-dominant overstory: Ponderosa P.

Fuel model type: 9

Slash disposal: _____ (Chipped/hailed/burned/lop-scatter)

Aspect: Westerly.

(Direction of slope)

Slope: 12%

Elevation: 6100 ft (feet)

Building site: _____ (Chimney/saddle/valley/ridge/mid-slope)

Site moisture: Very Low.

Natural fire barrier: Rock Quarry Due West, many Rock outcroppings

Insect & Disease Diagnosis: NONE

Lot size (acres): 5.023 (Acres)

Number of Structures: 2 (All structures to be present)

Existing Structures: 0 (House/barn/garage/etc.)

New Structure: 2 (House, Garage) (House/Barn/new addition/etc..)

Driveway length: 70 ft (Actual length in feet from road to home)

Driveway trees removed: few (few/many/none)

Home buffer material: stone, cement, crushed gravel (Stone/crushed gravel/decorative stone)

House design: simple (simple/complex)

Roof Design: Complex (simple/complex)

Roof material: metal (Asphalt shingles/concrete tiles/metal)

Soffits type: plywood (Plywood/hardboard/cement board)

Siding material: stucco (Cement/hardboard/log/stucco/stone/wood)

Windows (#): 13 (approximate number of windows)

Windows Size: med (On average: small/medium/large)

Windows Frames: alum. clad (Wood/aluminum/aluminum clad)

Windows Aspect: south (Dominant viewing direction)

Window Construction: e-coating - some tempered around door, where recommended by manufacturer + code (Tempered glass/e-coating/etc.)

Door Material: steel (Wood/steel/fiberglass/composite)

Deck material: wood (Redwood) (Wood/composite materials)

Deck Description: enclosed (Enclosed/open)

Deck support type: concrete + timber post (Timber posts/logs/steel/concrete/stone)

Deck buffer material: cement, crush gravel, decorative rock (Crushed rock/gravel)

Deck weed barrier: polyester (Fiberglass/polyester)

Structure SQR. FT.: 3397 ^(garage 576 of this total) (Total square feet of structure)

Utility Location: electric - pole ^{From East To Garage} (Pole/buried: Direction from structure)

Structure aspect: South / southwest (Dominant facing direction/view)

Leach field: 100 ft west (Distance from house, and direction)

Cistern: 30 ft north/northwest (Distance from house, and direction)

Cistern Type: both (Domestic Cistern or Fire Cistern)

Cistern size: 2200 + 1800 respectively (gallons)

Well (if applicable): Ø (Distance from house, and direction)

Propane Tank location: east / northeast 50 ft (Distance from house and direction)

• Concrete slab.

1800 Fire.
2200 house
Side by Side.

WILDFIRE MITIGATION PLAN

Docket SPR- # 04-016

Inspection date: 5/29/2004

Boulder District
5625 Ute Highway
Longmont, Colorado 80503-9130
(303) 823-5774

Prepared for:

Warren Franz & Claire Sandford
842 Grant Street
Longmont, CO 80501
Phone: 303-684-9377

Prepared by:

Cory Secher - Forester
Boulder District
Phone: (303) 823-5774
E-mail: csecher@lamar.colostate.edu

SITE LOCATION AND PROPERTY DESCRIPTION

The property is located at 1136 Steamboat Valley Road, Lyons CO. Access to the property from the town of Lyons take 5th Street north to Steamboat Valley Road and continue north 1.1 miles past Vasquez Quarry. The legal description is Section 6, Township 3N, and Range 70W S1/2 of SW1/2 of SE 1/4 of SW 1/4. The fire protection district is the Lyons fire protection district (303-441-3900). There will be 2 structure located on site, including a new residence and separate garage. The lot is 5.023 acres in size and has a ~12% percent slope with a western aspect. It is at 6,100 feet in elevation. The proposed building site is mid-slope and it is a relatively dry site. There is a rock quarry due west of the property along with many rock outcropping all around the residence creating small natural barriers that may help stop or slow the spread of a surface/crown fire on the site.

The site has a dominant overstory consisting of Ponderosa pine (*Pinus ponderosa*) with a Ponderosa pine (*Pinus ponderosa*) understory component. The area is predominantly fuel model 9 with ground fuels consisting of grasses, forbs, and shrubs. Fuel model 9 is represented by closed canopy stands of ponderosa pine and mixed conifer. Understory may consist of small trees and shrubs, grasses, and moderate concentrations of down, dead woody litter. There was no sign of any current insect and disease problems on the property at the time of inspection.

CONSTRUCTION DESIGN AND MATERIALS

The proposed house has a relatively simple design with a complex roofline and is oriented with a south/southwest aspect. The roofing material will consist of metal. The exterior wall material is to be stucco. Soffits are to be 3/4" thick plywood. The structure has ~13 medium sized windows with the primary viewing direction being toward the south side of the structure. Windows will be double glazed with low e-coated tempered glass and frames made of aluminum clad. Exterior doors are to be 1-3/4", fire-rated, and made of steel.

The one deck will be constructed of wood (redwood) materials and supported by concrete and timber posts. The deck will be closed and isolated from the surrounding landscape with cement, crushed gravel, and decorative stone over a polyester weed barrier.

The propane tank will be set on a concrete slab approximately 50 feet to the northeast of residence.

EMERGENCY ACCESS

The existing driveway will will create some additional site disturbance and soil compaction and will require the removal of only a few trees. The driveway is 12 feet wide with a vertical clearance of 13'6" and a grade that is less than 12%. The driveway is only 70 feet long therefore no turn around is required (see plan for details). The driveway is less than 400 feet therefore no pull-outs are required

WATER SUPPLY / UTILITIES / SEPTIC FIELD

The water source will be from both domestic and fire cisterns that will be located side-by-side about 30 feet north/northwest of residence. The propane tank is set on a concrete slab approximately 50 feet to the northeast of residence. Vegetation within 10 feet of the cisterns and propane tank will be kept cleared. Utilities for the property will be above ground on a pole located east of the garage. The septic field is located 100 feet west of residence.

FUELS REDUCTION

All trees to be removed are marked with blue spray paint. All trees that are to remain within zones 1 and 2 will be unmarked. If the property is less than 1 acre it may not have zones marked due to boundary interference. Harvested wood that remains on site will be stacked at least 30 feet from the house and at the same elevation when possible. Slash from the harvest will be hauled. Note that before burning piles, you must obtain a valid Open Burning Permit from the Boulder County Environmental Health Department and notify your local fire protection district (Lyons fire protection district (303-441-3900)).

DEFENSIBLE SPACE ZONES

There are three defensible space zones to be created around the structure(s) on the site.

Zone 1 - Starts at the foundation and extends out 15 feet in all directions from the outside edge of the structure(s). Zone 1 is broken down into three segments:

Zone 1A - Consists of the structure(s) themselves and the area immediately adjacent to and surrounding the structure(s) on all sides. A three-foot wide, non-flammable strip will be created using stone, cement, and crushed gravel over a polyester weed barrier material. This strip will also extend back under, and out to, two feet past the drip line of any decks.

Zone 1B - Extends out from Zone 1A. In this zone, all highly flammable vegetation is to be removed. Any large dead woody material on the ground will also be removed. Firewise plants will be used for landscaping and re-vegetation. Grasses will be irrigated when possible and mowed to a maximum height of 6 to 8 inches twice per growing season to a distance of 30 feet from the structure.

Zone 1C - This zone extends out from Zone 1B to 15 feet from the house. All understory trees (ladder fuels) will be removed as marked. These are small seedling and sapling size trees that can be ladders for fire to get in the crowns of the larger trees. A few of the larger, healthy trees are to be retained for screening. All remaining trees in this zone will be pruned to a height of 10 feet. They must be well spaced so that the crowns are not touching (10 foot minimum crown spacing). No trees will overhang the house or decks, unless approved by Boulder County or CSFS as "part of the structure" with additional fuels reduction around those trees to insure the defensible space integrity. Trees should be at least 15 feet away from the house on all sides, and a minimum of 10 feet from chimneys.

Zone 2 - This zone extends out from Zone 1C, and acts as a transition zone between the heavily thinned areas near the house to the existing forest setting. It extends down slope between 100-170 feet depending upon slope steepness. Zone 2 also extends on either side of the structure a minimum of 100 feet and behind the house between 70-100 feet assuming no boundary restrictions. Tree spacing begins as in Zone 1C and gradually decreases as you approach the outer edge of the zone. Thinning and crown spacing becomes greater in areas of steep slopes. Ladder fuels and poor quality, suppressed and/or diseased trees, 6 to 8 inches in diameter, make up the majority of the removals. The remaining mature trees will be pruned to a height of 10 feet at the intersection of Zones 1 and 2 with limbing reduced in height to 6 feet as you approach Zone 3. If there are any questions pertaining to slope and the changes in thinning spacing and distance regulations please refer to www.colostate.edu/Depts/CSFS/ and find the *Quick Facts 6.302 Creating Wildfire Defensible Space*.

Zone 3 - This zone extends out from Zone 2 to the edge of the property. It may extend out to areas that are not part of the immediate mitigation efforts. In this zone, a few thicker clumps of trees are acceptable, as well as some unpruned trees near the outer edge. Thinning in this zone adds some protection, but is aimed more at forest health. Trees that are of poor quality or form, or have insect or disease infestations, should be removed. Slash in this zone can be lopped and scattered and/or piled for wildlife use.

- Thin suppressed trees and trees with disease and insect infestations and retain the larger, healthier trees.
- Snags should be retained for wildlife.
- Some slash in this zone can be lopped and scattered and/or piled for wildlife enhancement and shelter.
- Large amounts of slash should be disposed of by chipping, hauling to an approved site, or burning.
- For burning permits, check with your local fire protection district.

MAINTENANCE AND RECOMMENDATIONS

As detailed in fact sheet 6.302, Creating Wildfire Defensible Zones, an important factor that determines a structure's ability to survive wildfire is defensible space. Defensible space is a maintained area around a structure where fuels (flammable materials) are modified to slow the possible spread of wildfire to the structure, as well as from the structure to the surrounding areas. Defensible space provides a place where structure protection and fire suppression operations may occur. Wildfire hazard mitigation work breaks up fuel continuity, potentially decreasing a wildfire's intensity, and for more effectiveness should be completed beyond a home's defensible space, zone 1 and 2, area into zone 3.

In addition to the above recommendations, several other measures can be taken to make your home more fire safe and add an additional measure of safety for your family. While not required through site plan review, the following measures should be undertaken to maintain the home and defensible space in the future.

- Maintain your defensible space yearly; contact your local forester for a 5-year maintenance inspection
- Keep firewood at least 30 feet away from buildings; clear weeds and grass from around pile
- Do not stack fresh cut wood against live trees – this could invite unwanted insects
- When possible, maintain an irrigated green space; mow grasses 6" to 8" high
- Connect, and have available, a minimum of 50 feet of garden hose with an adjustable nozzle
- Have an emergency evacuation plan in place (included in wildfire mitigation plan)
- Be aware of fire danger; check the Boulder Fire Weather website at www.crh.hoaa.gov/den/fireindx.html
- Keep driveways and property address marked with reflective easy to see signs
- Maintain screens on foundations, soffit vents, roof vents, and attic openings
- Get rid of unnecessary accumulations of debris and trash from yards
- Keep tools such as shovels, rakes, ladders, and axes available and ready for use
- Clean debris from the roof and gutters at least two times annually
- Check screens and maintain spark arresters on chimneys annually
- Avoid storing combustibles under decks such as wood piles, scrap lumber, and fuels

DEFINITIONS

Wildfire mitigation plan – A plan to reduce wildfire hazards around a home or other structure through fuels reduction. A document to inform urban interface home owners of the dangers and responsibilities of living in the interface. A plan to help outline the initial and ongoing fuels reduction needed to maintain an effective and healthy wildfire defensible space.

Fuel Model – A number system that identifies the types of fuels found on the property that will directly influence fire behavior

Aspect – Exposure. The direction a slope faces.

Canopy – The cover of branches and foliage formed collectively by crowns of adjacent trees.

Crown – Branches and foliage of a tree.

Dominant fuel type – Matter that would carry a fire, found on the ground.

Fuel continuity – The proximity of fuels to each other. Helps determine if a fire can sustain itself.

Limb (verb) –To remove the branches from a tree.








Overstory – The tree species that forms the uppermost forest layer (dominant and co-dominant).

Snag – Standing dead tree, often used by wildlife such as woodpeckers, owls, and other various mammals.

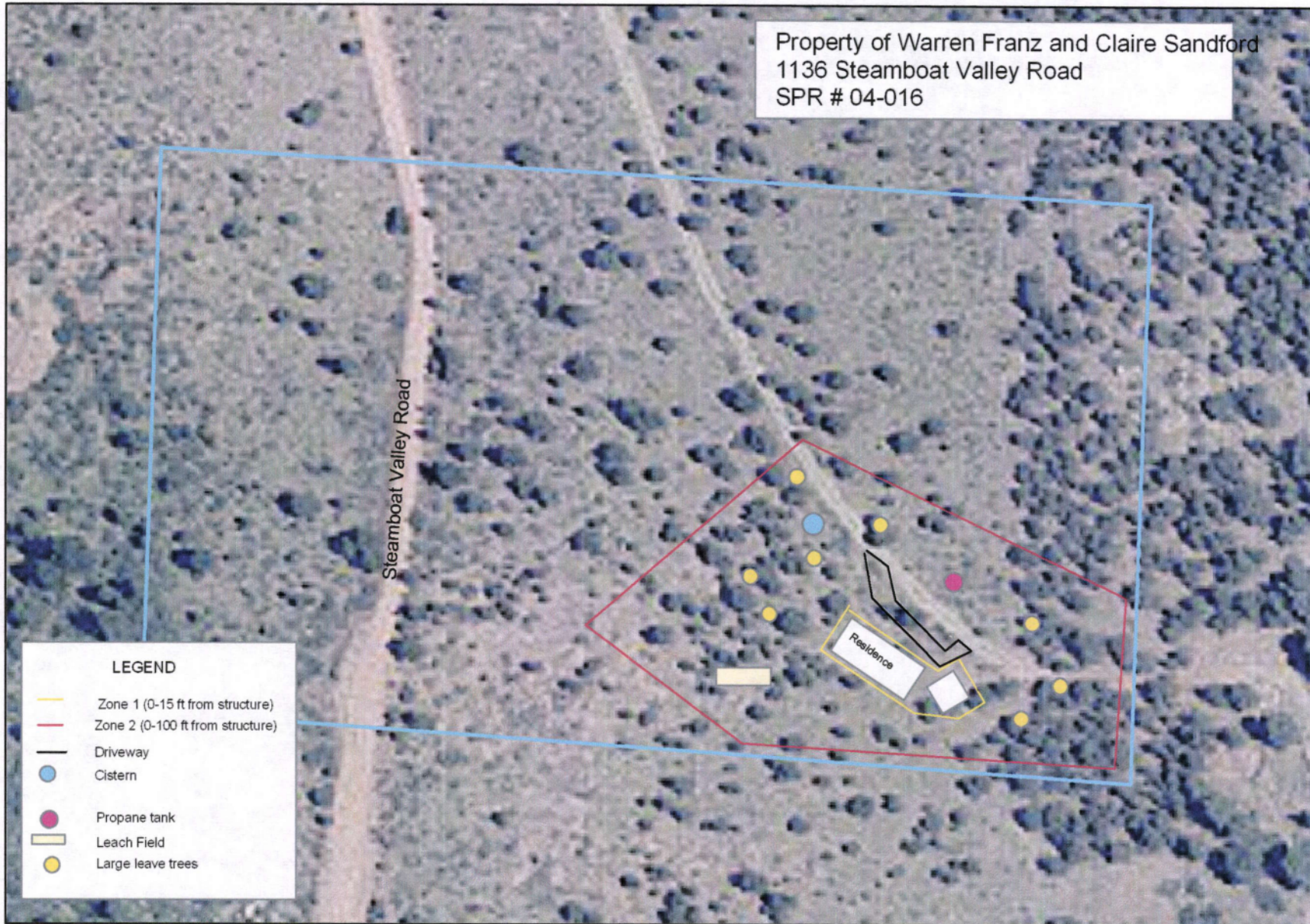
Property of Warren Franz and Claire Sandford
1136 Steamboat Valley Road
SPR # 04-016

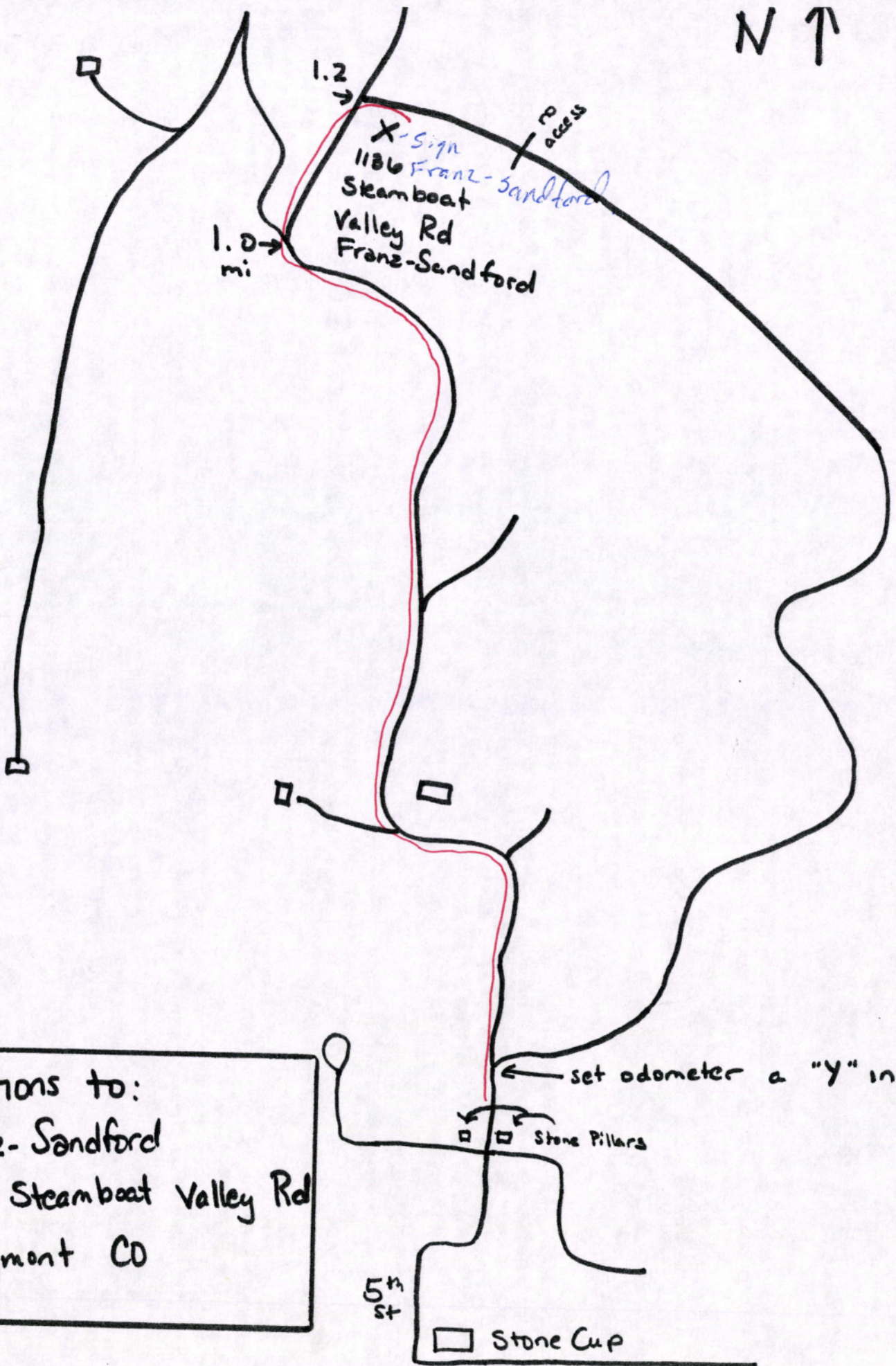
Steamboat Valley Road

LEGEND

-  Zone 1 (0-15 ft from structure)
-  Zone 2 (0-100 ft from structure)
-  Driveway
-  Cistern
-  Propane tank
-  Leach Field
-  Large leave trees

Residence





Directions to:
Franz-Sandford
1136 Steamboat Valley Rd
Longmont CO

Lyons, CO